

TRI-TOWNSHIP AIRPORT

8049 ILLINOIS ROUTE 84 SOUTH, SAVANNA, ILLINOIS 61074

PHASE 2: TREE REMOVAL AND HOUSE DEMOLITION

IDA No.: SFY-4393
AIP No.: 3-17-SBGP-144/156/162

Contract No. TR011

| NO. | DATE | DESCRIPTION | | |
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ISSUE: 100% 11/19/2021
PROJECT NO: 18A0130D
CAD FILE: G-003SFY.DWG
DESIGN BY: KCF 10/18/21
DRAWN BY: DPD 10/20/21
REVIEWED BY: KCF 10/22/21

SHEET TITLE

CONSTRUCTION SAFETY AND PHASING PLAN

| CONSTRUCTION CRITICAL POINT INFORMATION | | | | | | |
|---|-------------------------------|------------|------------------|------------------|------------------|------------------|
| ITEM NO. | DESCRIPTION | MOBILITY | GROUND ELEVATION | OBJECT ELEVATION | LATITUDE | LONGITUDE |
| 1 | BUILDING CORNER | STATIONARY | 610.0 | 625.0 | 41° 56' 50.77" N | 83° 27' 27.17" W |
| 2 | CONTRACTOR STAGING AREA | STATIONARY | 609.0 | 634.0 | 41° 56' 50.41" N | 83° 27' 27.61" W |
| 3 | CONSTRUCTION EQUIPMENT LIMITS | STATIONARY | 608.0 | 633.0 | 41° 56' 50.28" N | 83° 27' 27.76" W |

PROPOSED SAFETY PLAN

GENERAL - THE TRI-TOWNSHIP AIRPORT IS COMPRISED OF ONE RUNWAYS (RUNWAY 13-31). THIS PROJECT WILL NOT REQUIRE ACCESSING THE AIRFIELD OR CLOSURE OF ANY AIRFIELD PAVEMENTS, HOWEVER THE CONTRACTOR SHALL BE LIMITED TO AN EQUIPMENT HEIGHT OF 25' ABOVE GROUND WHILE WORKING UNDER THE RUNWAY 13 APPROACH.

IDENTIFICATION - WHEN THE CONTRACTORS VEHICLES AND EQUIPMENT ARE ON THE AIRPORT PROPERTY THEY SHALL BE PROPERLY MARKED WITH THREE (3') FOOT SQUARE CHECKERED FLAGS (INTERNATIONAL ORANGE AND WHITE). THE CONTRACTOR WILL ALSO PROVIDE WORKERS WITH SOME TYPE OF TAG OR GARMENT TO IDENTIFY THE PERSON AS BEING PART OF THE CONSTRUCTION CREW.

RADIO CONTROL - THE CONTRACTOR WILL BE REQUIRED TO BE IN TWO-WAY RADIO CONTACT (122.70 MHz.) WITH THE AIRPORT UNICOM. THIS WILL KEEP THE CONTRACTOR IN CONSTANT CONTACT WITH THE TRI-TOWNSHIP AIRPORT AND ENABLE THE AIRPORT TO IMMEDIATELY CONTACT THE CONTRACTOR IN CASE OF AN AERONAUTIC EMERGENCY THAT WOULD REQUIRE ACTION BY THE CONTRACTOR AND/OR HIS PERSONNEL.

ENGINEER'S FIELD OFFICE NOTES

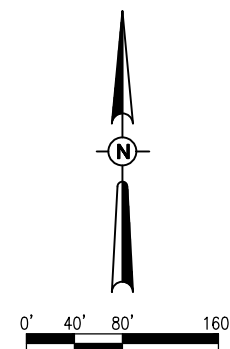
NO ENGINEER'S FIELD OFFICE WILL BE REQUIRED.

EROSION CONTROL

THIS PROJECT WILL DISTURB LESS THAN 1 ACRE OF LAND, THEREFORE NO N.P.D.E.S. PERMIT WILL BE REQUIRED.

LEGEND

- SUBJECT PROPERTY - PROPOSED AREA OF DEMOLITION
- CONTRACTOR STAGING AREA
- HAUL ROUTE



CERTIFIED PAYROLLS

THE RESIDENT ENGINEER CANNOT FORWARD CONSTRUCTION REPORTS TO THE ILLINOIS DIVISION OF AERONAUTICS FOR PROCESSING UNTIL ALL CERTIFIED PAYROLLS FOR THE PERIOD HAVE BEEN RECEIVED.

MATERIAL CERTIFICATION

MATERIAL TO BE INCORPORATED INTO THE PROJECT CANNOT BE USED WITHOUT PRIOR APPROVAL. ALL MATERIAL TO BE USED IN THE PROJECT MUST BE SUBMITTED TO THE RESIDENT ENGINEER FOR APPROVAL. USE OF MATERIAL WITHOUT PRIOR APPROVAL AND ULTIMATELY DETERMINED TO BE UNACCEPTABLE BY THE ILLINOIS DIVISION OF AERONAUTICS ARE SUBJECT TO REMOVAL AND/OR NON-PAYMENT.

UTILITY NOTE

THE LOCATION, SIZE, AND TYPE OF MATERIAL OF EXISTING UNDERGROUND AND/OR ABOVEGROUND UTILITIES INDICATED ON THE PLANS ARE NOT REPRESENTED AS BEING ACCURATE, SUFFICIENT OR COMPLETE. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY WHATEVER IN RESPECT TO THE ACCURACY, COMPLETENESS, OR SUFFICIENCY OF THE INFORMATION. THERE IS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT THE LOCATIONS, SIZE AND TYPE OF MATERIAL OF EXISTING UNDERGROUND UTILITIES INDICATED ARE REPRESENTATIVE OF THOSE TO BE ENCOUNTERED IN THE CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES, INCLUDING SERVICE CONNECTIONS TO UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES OF HIS OPERATIONAL PLANS AND SHALL OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION AND ASSISTANCE RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULE OF THE COMPANIES FOR REMOVAL OR ADJUSTMENT WHERE REQUIRED. IN THE EVENT AN UNEXPECTED UTILITY INTERFERENCE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY COMPANY OF JURISDICTION. THE OWNER'S REPRESENTATIVE AND/OR THE RESIDENT ENGINEER SHALL ALSO BE IMMEDIATELY NOTIFIED. ANY DAMAGE TO SUCH MAINS AND SERVICES SHALL BE RESTORED TO SERVICE AT ONCE AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT. ALL UTILITY CABLES AND LINES SHALL BE LOCATED BY THE RESPECTIVE UTILITY. CONTACT JULIE (JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS) FOR UTILITY INFORMATION, PHONE: 1-800-892-0123. CONTACT THE FAA (FEDERAL AVIATION ADMINISTRATION) FOR ASSISTANCE IN LOCATING FAA CABLES AND UTILITIES. LOCATION OF FAA POWER, CONTROL, AND COMMUNICATION CABLES SHALL BE COORDINATED WITH AND/OR LOCATED BY THE FAA. ALSO CONTACT AIRPORT DIRECTOR/MANAGER AND AIRPORT PERSONNEL FOR ASSISTANCE IN LOCATING UNDERGROUND AIRPORT CABLES AND/OR UTILITIES. ALSO COORDINATE WORK WITH ALL ABOVEGROUND UTILITIES.

J.U.L.I.E. INFORMATION

COUNTY _____ CARROLL
CITY _____ SAVANNA
TOWNSHIP _____ SAVANNA TOWNSHIP
SECTION NO. _____ 25
ADDRESS _____ TRI-TOWNSHIP AIRPORT
8049 ILLINOIS ROUTE 84 SOUTH
SAVANNA, ILLINOIS 61074

HAUL ROUTE AND VEHICLE PARKING

THE CONTRACTOR WILL USE THE EXISTING ENTRANCE PAVEMENTS TO THE PROPERTY AS THE DESIGNATED HAUL ROUTE. THE CONTRACTOR SHALL PARK EQUIPMENT AND PLACE MATERIALS WITHIN THE LIMITS OF THE SUBJECT PROPERTY. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN THE PROPOSED HAUL ROUTE AND SUBJECT PROPERTY THROUGHOUT THE COURSE OF THE PROJECT. ANY AREAS DAMAGED OUTSIDE OF THESE AREAS WILL BE REPAIRED BY THE CONTRACTOR AND AT THE CONTRACTOR'S OWN EXPENSE. AT THE CONCLUSION OF THE PROJECT THE CONTRACTOR WILL RESTORE THE HAUL ROUTE AND PARKING AREA TO ITS ORIGINAL STATE. RESTORATION OF THE HAUL ROUTE AND ANY AREAS USED FOR PARKING WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

CONTRACTOR RESPONSIBILITIES

ALL WORK PERFORMED SHALL BE DONE IN A ORDERLY AND EFFECTIVE MANNER USING EQUIPMENT OF LESS THAN 25' TO PREVENT RUNWAY CLOSURE.

ALL CONSTRUCTION EQUIPMENT ON THE AIRPORT SHALL BE MARKED, LIGHTED AND/OR FLAGGED IN ACCORDANCE WITH AC 150/5210-5 AND 70/7460-1, LATEST EDITION.

TRENCHES OR HOLES SHALL BE PROTECTED OVERNIGHT.

ANY PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL COORDINATION WITH UTILITY PROVIDERS, CITY, COUNTY AND STATE DEPARTMENTS OF TRANSPORTATION SHALL BE THE CONTRACTORS RESPONSIBILITY.

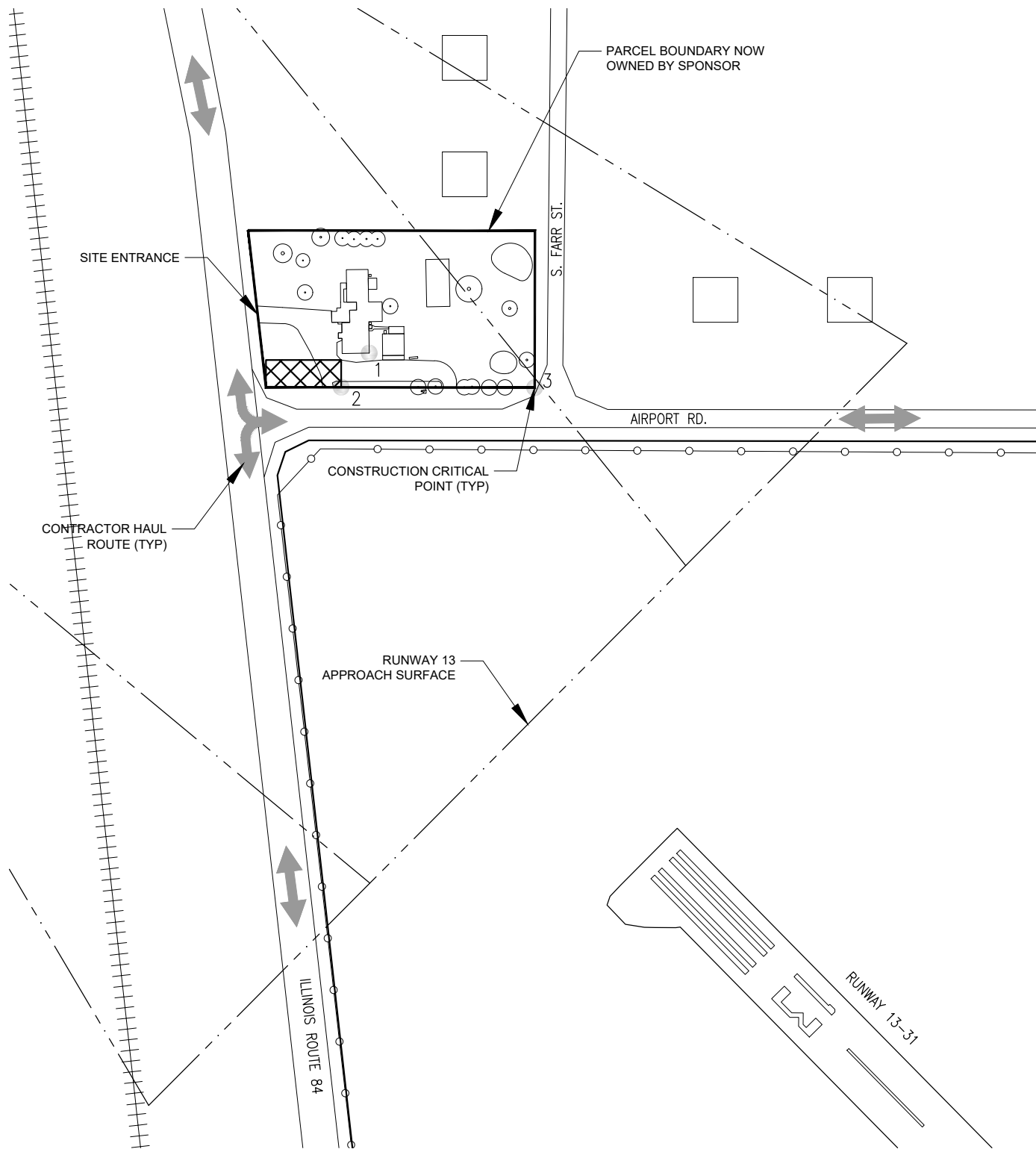
NO BURNING OF DEBRIS SHALL BE PERMITTED.

SCOPE OF WORK

THIS PROJECT CONSISTS OF DEMOLITION OF ONE ABANDONED RESIDENCE, ATTACHED GARAGE, AND A DETACHED GARAGE, SITE CLEAN-UP AND DEBRIS REMOVAL, STUMP REMOVAL, WATER WELL ABANDONMENT, AND SEPTIC SYSTEM ABANDONMENT, PAVEMENT REMOVAL, CURB REMOVAL, AND OTHER INCIDENTAL REMOVAL ITEMS.

AIRPORT SECURITY NOTE

AIRPORT SECURITY WILL BE MAINTAINED AT ALL TIMES. THE WORK SHALL NOT REQUIRE THE CONTRACTOR TO ACCESS THE AIRPORT PROPER.



BUILDING DEMOLITION NOTES

ONE RESIDENCE AND ONE DETACHED GARAGE WILL BE DEMOLISHED IN ACCORDANCE WITH THESE PLANS AND THE SPECIAL PROVISIONS. THE STRUCTURES VARY IN SIZE AND FOUNDATION/FLOOR TYPE, BUT ARE ALL WOODEN IN NATURE. EACH STRUCTURE, INCLUDING THE PAD AND/OR CONCRETE OR CMU FOUNDATION, WILL BE REMOVED IN THEIR ENTIRETY. STRUCTURES CONTAIN ROOF AND WALL SHEATHING MATERIALS OF WOOD, STEEL SHEETING, AND ASPHALT SHINGLES. ALL EQUIPMENT ON AND AROUND THE RESPECTIVE STRUCTURE, INCLUDING EXISTING DEBRIS AND DEBRIS GENERATED FROM THE REMOVAL SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER. AN ASBESTOS REPORT IS INCLUDED IN THE SPECIAL PROVISIONS. ABATEMENT OF THE OBSERVED ASBESTOS MATERIAL SHALL BE UNDERTAKEN IN A LEGAL MANNER BY A CERTIFIED HAZARDOUS MATERIAL ABATEMENT SPECIALIST. EACH REMOVAL SITE SHALL BE BACKFILLED WITH WITH AN APPROVED FILL MATERIAL. THE FILL MATERIAL SHALL BE SOIL (COMPACTED), SAND (JETTED), OR PEA GRAVEL OR CHIP (CONSOLIDATED) TO PREVENT FUTURE SETTLEMENT. THE FINAL 6-IN OF BACKFILL SHALL BE ORGANIC TOPSOIL, SMOOTH GRADED TO CONFORM WITH THE ADJACENT GRADES, SEEDED WITH A COMMERCIALY AVAILABLE SEED AND MULCHED WITH STRAW. TWO UTILITY POLES EXIST ON THE SITE THAT WILL BE REMOVED AS SHOWN.

DEMOLITION OF THE STRUCTURES, ALL DISPOSAL (INCLUDING PERMITS, FEES, AND COORDINATION), ABATEMENT, BACKFILL, SEEDING, AND MULCHING SHALL BE CONSIDERED INCIDENTAL TO AR152610 - BUILDING DEMOLITION, PER LUMP SUM, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

UTILITY NOTES

ELECTRICAL SERVICE TO THE RESIDENCE HAS BEEN DISCONNECTED. UNDERGROUND AND OVERHEAD POWER LINES EXIST ON THE PROPERTY. ELECTRICAL TO THE EXISTING POLE STRUCTURES SHALL BE REMOVED. THE POLES ON THE SITE SHALL BE REMOVED, INCLUDING ANY FOUNDATIONS AND/OR PORTIONS THAT ARE BELOW GRADE, AND BACKFILLED WITH AN APPROVED FILL MATERIAL AND THE SURROUNDING LANDSCAPE RESTORED.

REMOVAL OF THE REMAINING UTILITY RELATED FEATURES ON SITE, ALL DISPOSAL (INCLUDING PERMITS, FEES, AND COORDINATION), BACKFILL, SEEDING, AND MULCHING SHALL BE CONSIDERED INCIDENTAL TO AR151460 - MISC. CLEARING, PER LUMP SUM, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

SEPTIC SYSTEM ABANDONMENT NOTES

A SEPTIC SYSTEM THAT PREVIOUSLY SERVED THE RESIDENCE WILL BE ABANDONED IN ACCORDANCE WITH AND COORDINATED THROUGH THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH AND ALL OTHER LOCAL, STATE, AND FEDERAL REGULATIONS. ALL PERMITTING, REPORTING AND COORDINATION; STRUCTURE DRAINAGE AND BACKFILL MEASURES, INCLUDING LANDSCAPE RESTORATION, REQUIRED SHALL BE CONSIDERED INCIDENTAL TO AR770908 - REMOVE SEPTIC SYSTEM, PER LUMP SUM, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

WATER WELL ABANDONMENT NOTES

A WATER WELL THAT PREVIOUSLY SERVED THE RESIDENCE WILL BE ABANDONED IN ACCORDANCE WITH AND COORDINATED THROUGH THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH AND ALL OTHER LOCAL, STATE, AND FEDERAL REGULATIONS. ALL PERMITTING, REPORTING, AND COORDINATION; STRUCTURE DRAINAGE AND BACKFILL MEASURES, INCLUDING LANDSCAPE RESTORATION, REQUIRED SHALL BE CONSIDERED INCIDENTAL TO AR760999 - WELL ABANDONMENT, PER EACH, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

MISCELLANEOUS CLEARING NOTES

PREVIOUSLY GENERATED DEBRIS REMAINS ON THE SITE FOLLOWING THE FELLING OF TREES AND THE EVACUATION OF THE PREVIOUS HOMEOWNER FROM THE RESIDENCE. ADDITIONALLY, ANCILLARY SITE ITEMS SUCH AS PLANTERS, STEEL POSTS/FOUNDATIONS, SIDEWALKS, CONCRETE CURBS, WOODEN FENCES, AND OVERGROWN GROUND VEGETATION SHALL BE REMOVED FROM THE SITE, AND THE LANDSCAPE RESTORED BY BACKFILLING TO PROVIDE A SMOOTH TRANSITION TO THE ADJACENT GRADES, SEEDED WITH A COMMERCIALY AVAILABLE SEED, AND MULCHED WITH STRAW. ANY REMOVED, DISTURBED AND/OR BACKFILLED AREAS SHALL BE GRADED TO DRAIN. TO COMPLETE THE MISCELLANEOUS CLEARING THE SITE WILL REQUIRE MOWING OF THE ENTIRE SITE TO PROVIDE A CONSIST VEGETATION HEIGHT OF NO GREATER THAN 6-IN. ALL DEBRIS SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER. NO BURNING SHALL BE ALLOWED ON THE SITE.

THE MISCELLANEOUS CLEARING OF THE SITE, ALL DISPOSAL (INCLUDING PERMITS, FEES, AND COORDINATION), BACKFILL, SEEDING, AND MULCHING SHALL BE CONSIDERED INCIDENTAL TO AR151460 - MISC. CLEARING, PER LUMP SUM, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

TREE/STUMP REMOVAL NOTES

FOLLOWING THE REMOVAL OF THE TREES FROM THE SITE THE STUMPS WILL BE REMOVED. THE STUMP REMOVAL MAY BE BY GRINDING OR EXCAVATION, AND WILL REQUIRE ADDITIONAL CUTTING IF BELOW GROUND. IF GRINDING IS UTILIZED THE GRINDING SHALL CONTINUE TO A DEPTH OF 12" BELOW THE ADJACENT GRADE. IF EXCAVATION IS UTILIZED THE ENTIRE ROOT BALL OF THE RESPECTIVE TREE SHALL BE REMOVED.

ALL DEBRIS, MULCH, ETC. RESULTING FROM THE GRINDING SHALL BE REMOVED FROM THE VOID CREATED BY THE GRINDING. ALL SPOIL MATERIAL GENERATED SHALL BE COLLECTED AND REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

THE VOID RESULTING FROM THE STUMP REMOVAL SHALL BE BACKFILLED WITH AN APPROVED TOPSOIL. THE MATERIAL SHALL BE FROM OFF-SITE. THE DISTURBED AREA SHALL BE SEEDED WITH A COMMERCIALY AVAILABLE SEED AND MULCHED WITH STRAW.

STUMP REMOVAL, ADDITIONAL CUTTING, THE DISPOSAL OF ALL THE DEBRIS, THE BACKFILL AND LANDSCAPE RESTORATION OF THE AREA, SHALL BE PAID FOR IN ACCORDANCE WITH ITEMS AR151429 - STUMP REMOVAL 0.0 FT-2.5 FT DIA., PER EACH, AND AR151431 - STUMP REMOVAL 2.5 FT-5.0 FT DIA., PER EACH, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

GENERAL NOTES

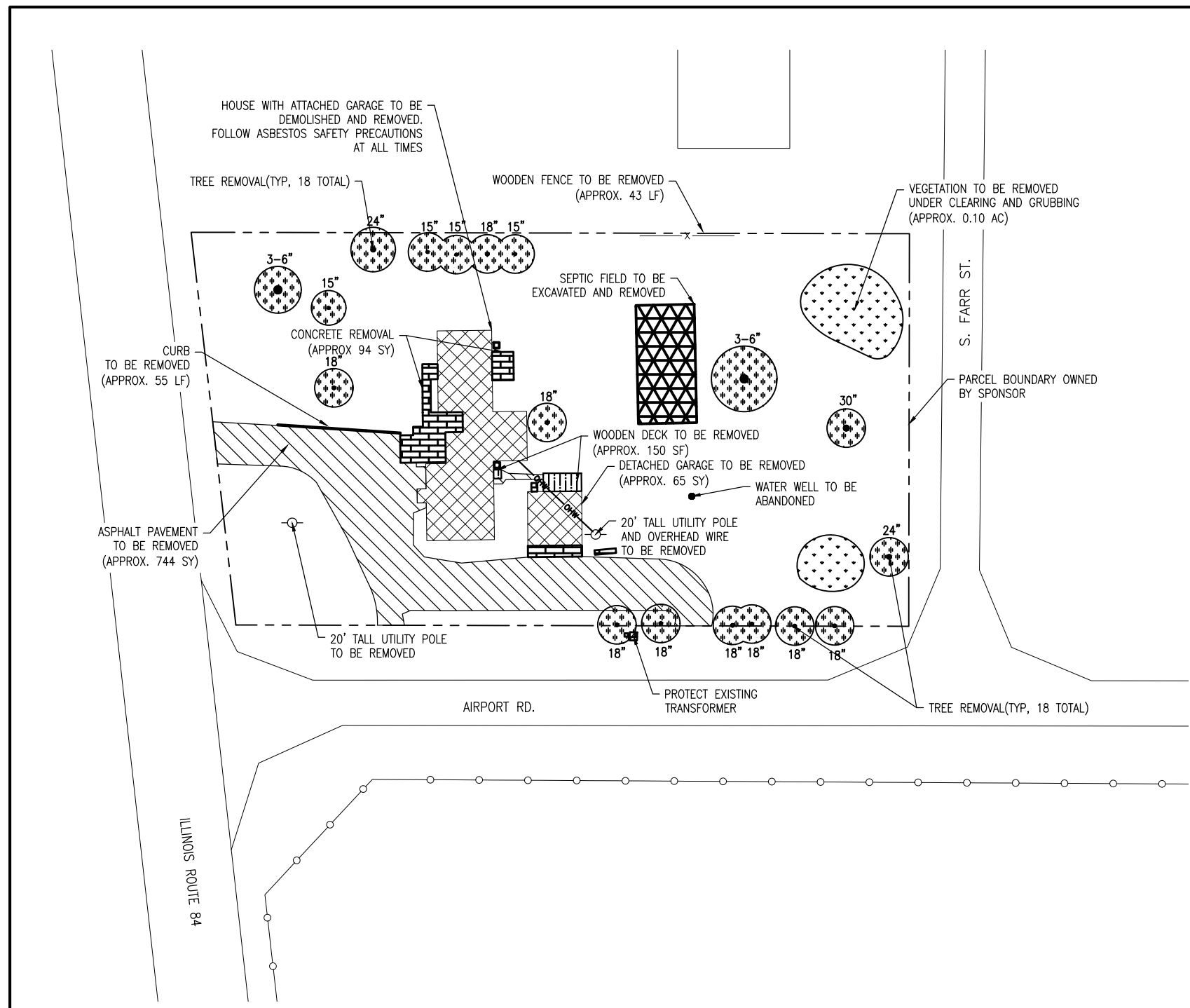
ALL STRUCTURES OR FEATURES TO REMAIN SHALL BE PROTECTED TO PREVENT DAMAGE. ANY DAMAGE SUSTAINED SHALL BE REPAIRED OR REPLACED, WITH THE COST BORNE BY THE CONTRACTOR.

THE PORTIONS OF EXISTING ASPHALT DRIVEWAY ENTRANCE PAVEMENTS THAT CONNECT TO IL RTE 84 AND AIRPORT ROAD THAT ARE TO REMAIN SHALL BE MAINTAINED, SWEEPED OF DIRT AND DEBRIS, AND PROTECTED DURING THE COURSE OF THE PROJECT. NO RUTS OR DAMAGE SUSTAINED FROM OVERLOADING WILL BE ACCEPTABLE.

AT THE CONCLUSION OF THE PROJECT THE SITE SHALL BE CLEAR OF ALL OBJECTS AND DEBRIS. ALL VOIDS SHALL BE BACKFILLED, GRADED, COMPACTED, SEEDED AND MULCHED, IN ACCORDANCE WITH THE NOTES ABOVE AND THE SPECIAL PROVISIONS.

ALL DEWATERING REQUIRED TO PERFORM THE REMOVAL, ABANDONMENT AND/OR DEMOLITION OF SITE ITEMS SHALL BE INCIDENTAL TO THE CONTRACT.

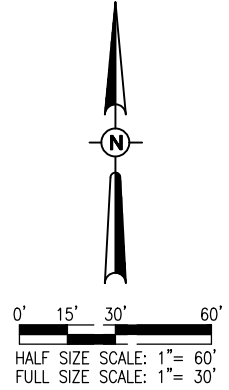
CONTRACTOR SHALL REMAIN WITHIN THE BOUNDARY OF THE DEPICTED PROPERTY LINES THROUGHOUT THE PROJECT.



LEGEND

SCALE: 1:30 (FULL SIZE)

- | | | | |
|--|--|--|---------------------------------------|
| | EXISTING STRUCTURE - TO BE DEMOLISHED | | EXISTING WOODEN FENCE - TO BE REMOVED |
| | EXISTING AGGREGATE DRIVE - TO BE REMOVED | | EXISTING UTILITY POLE - TO BE REMOVED |
| | EXISTING CONCRETE SLAB - TO BE REMOVED | | EXISTING TREE - TO BE REMOVED |
| | EXISTING WOODEN DECK - TO BE REMOVED | | EXISTING VEGETATION - TO BE REMOVED |
| | EXISTING SEPTIC FIELD - TO BE REMOVED | | WATER WELL - TO BE ABANDONED |



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**PHASE 2: TREE
REMOVAL AND HOUSE
DEMOLITION**

IDA No.: SFY-4393
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DEMOLITION PLAN