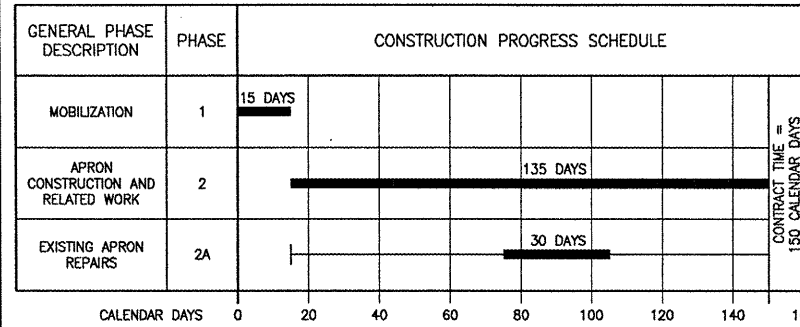


**SCHEMATIC CONSTRUCTION PHASING**



**CONSTRUCTION PHASING NOTES:**

CONSTRUCTION TIME: 150 CALENDAR DAYS  
ANTICIPATED START DATE: SEPTEMBER 15, 2008  
ANTICIPATED COMPLETION DATE: JULY 3, 2009

**PHASE 1 (15 DAYS)**

ITEMS OF WORK IN THIS PHASE INCLUDE:  
- CONTRACTOR MOBILIZATION  
- SHOP DRAWING SUBMITTALS

**PHASE 2 (135 DAYS)**

PHASE 2 WORK CONSISTS OF CONSTRUCTION OF THE NEW APRON AND RELATED WORK. MAJOR ITEMS OF WORK IN THIS PHASE INCLUDE:  
- DEMOLITION OF EXISTING FACILITIES  
- TOPSOIL STRIPPING  
- DRAINAGE MODIFICATIONS  
- CONSTRUCTION OF EMBANKMENT  
- CONSTRUCTION OF AGGREGATE BASE  
- CONSTRUCTION OF ECONCRETE BASE  
- CONSTRUCTION OF PCC PAVEMENT  
- RECONSTRUCTION OF PERIMETER ACCESS ROAD  
- CONSTRUCTION OF NEW EDGE LIGHTING  
- LANDSCAPING AND SITE RESTORATION  
- CONSTRUCTION OF CONCRETE PAD FOR RELOCATION OF STORAGE TANKS

**PHASE 2A (30 DAYS)**

PHASE 2A WORK SHALL OCCUR DURING A 30 DAY PERIOD CONCURRENT WITH PHASE 2. MAJOR ITEMS OF WORK IN THIS PHASE INCLUDE:  
- PANEL REPLACEMENT AND REPAIRS IN EXISTING CONCRETE APRON

**GENERAL PHASING NOTES:**

1. THE CONSTRUCTION PHASING OUTLINED IN THE ATTACHED PLANS IS BROKEN INTO TWO PHASES OF WORK. THE LIMITS OF EACH PHASE ARE ESTABLISHED, AS SUCH, TO MINIMIZE THE DISRUPTION OF AIRFIELD OPERATIONS DURING CONSTRUCTION. ALL PHASES OF WORK ARE WITHIN THE AIRCRAFT OPERATIONS AREA (AOA) BUT OUTSIDE RUNWAY AND TAXIWAY SAFETY AREAS. DUE TO THE IMPORTANCE OF MAINTAINING AIRFIELD OPERATIONS AND SAFETY AND SECURITY DURING CONSTRUCTION, THE CONTRACTOR IS REMINDED THAT WHILE WORKING WITHIN THESE AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE APPRAISED OF, AND TO IMPLEMENT, THE GUIDELINES ESTABLISHED IN THE PROVISIONS UNDER SAFETY AND SECURITY.
2. THE CONTRACTOR SHALL BE GIVEN A SPECIFIC NUMBER OF CALENDAR DAYS TO PERFORM THE WORK AND IF THE CONTRACTOR DOES NOT COMPLETE THE CONSTRUCTION WITHIN THAT TIME FRAME, LIQUIDATED DAMAGES WILL BE ASSESSED UNLESS THE CONTRACTOR CAN SHOW JUST CAUSE FOR THE DELAYS. IF THE RESIDENT ENGINEER, OR AIRPORT MANAGEMENT FEELS THAT CONSTRUCTION IS PROCEEDING AT TOO SLOW A PACE, THE RESIDENT ENGINEER SHALL NOTIFY THE CONTRACTOR IN WRITING AND THE CONTRACTOR SHALL BE REQUIRED TO RESPOND IN WRITING JUSTIFYING THE IDENTIFIED DELAYS AND/OR LACK OF ADEQUATE EQUIPMENT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE JUSTIFICATION FOR WAIVING OF ANY LIQUIDATED DAMAGES CHARGED TO THE CONTRACTOR.
3. THE CONTRACTOR SHALL, AT ALL TIMES, COORDINATE HIS EFFORTS WITH THE RESIDENT ENGINEER. IF ANY PROBLEMS ARISE DURING THE CONSTRUCTION SEQUENCING, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENT ENGINEER TO RESOLVE SAID PROBLEMS PRIOR TO CONTINUING THE WORK.
4. THE CONTRACTOR SHALL PERFORM ALL FINAL CLEANUP WORK PRIOR TO A FINAL INSPECTION. THE CONTRACTOR SHALL ALSO CONTINUOUSLY CLEAN UP DURING EACH PHASE OF THE PROJECT.
5. THE CONTRACTOR SHALL PROVIDE FLAGMEN DESIGNATED TO OBSERVE ALL AIRCRAFT ACTIVITIES AROUND THE CONSTRUCTION AREAS FOR AIRCRAFT ARRIVING OR PREPARING TO DEPART FROM SAID AREAS NEAR THE CONSTRUCTION. THE FLAGMEN WILL STOP ANY CONSTRUCTION TRAFFIC WHERE THE AIRCRAFT CROSSES NEAR THE CONSTRUCTION, AND IF NECESSARY, REQUIRE THE CONSTRUCTION EQUIPMENT TO MOVE TO ALLOW SAFE PASSAGE OF THE AIRCRAFT. IF IT IS DETERMINED THAT A CONSIDERABLE AMOUNT OF AIRCRAFT ACTIVITY IS OCCURRING AND THE TRAFFIC WILL CAUSE CONSIDERABLE DELAYS FOR THE CONTRACTOR, THE CONTRACTOR SHALL REQUEST A MEETING WITH THE AIRPORT MANAGEMENT AND RESIDENT ENGINEER TO COORDINATE AND ALLMITE THE DELAYS.
6. THE CONTRACTOR SHALL SWEEP ON A DAILY BASIS, AS NECESSARY OR AS DIRECTED BY THE RESIDENT ENGINEER. THE ACTIVE AIRPORT AREAS NEAR CONSTRUCTION ACTIVITIES WHICH HAVE HAD ANY FOREIGN OBJECT DEBRIS (FOD) DEPOSITED BY AUTOMOBILE OR CONSTRUCTION EQUIPMENT OF BY WIND BLOWING DEBRIS OR MATERIALS ONTO THOSE ACTIVE AREAS. IT IS IMPERATIVE THAT NO DAMAGE IS DONE TO ANY AIRCRAFT DUE TO FOD. ANY DAMAGE DONE TO AIRCRAFT WHICH IS ATTRIBUTABLE TO FOD FROM THE CONSTRUCTION AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE WITH NO REIMBURSEMENT BY THE AIRPORT, RESIDENT ENGINEER OR THEIR AUTHORIZED REPRESENTATIVES.
7. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT HIS RECOMMENDED FIELD OPERATIONS AREAS FOR STORAGE OF EQUIPMENT, SUPPLIES AND FIELD OFFICES TO THE RESIDENT ENGINEER AND AIRPORT MANAGEMENT AT THE PRE-CONSTRUCTION CONFERENCE FOR REVIEW, COMMENTS AND APPROVAL. ANY AREAS RECOMMENDED FOR STORAGE OF FUELING FACILITIES, MATERIALS AND OFFICES SHALL BE APPROVED BY THE AIRPORT MANAGEMENT AND RESIDENT ENGINEER PRIOR TO MOBILIZATION OF ANY EQUIPMENT OR FIELD OFFICES AND CERTIFIED BY THE CONTRACTOR THAT THE FACILITIES MEET ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

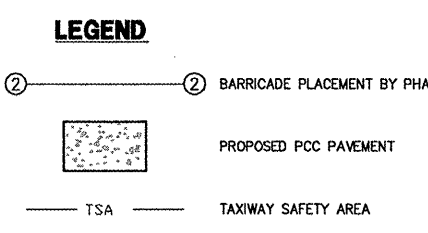
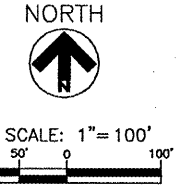
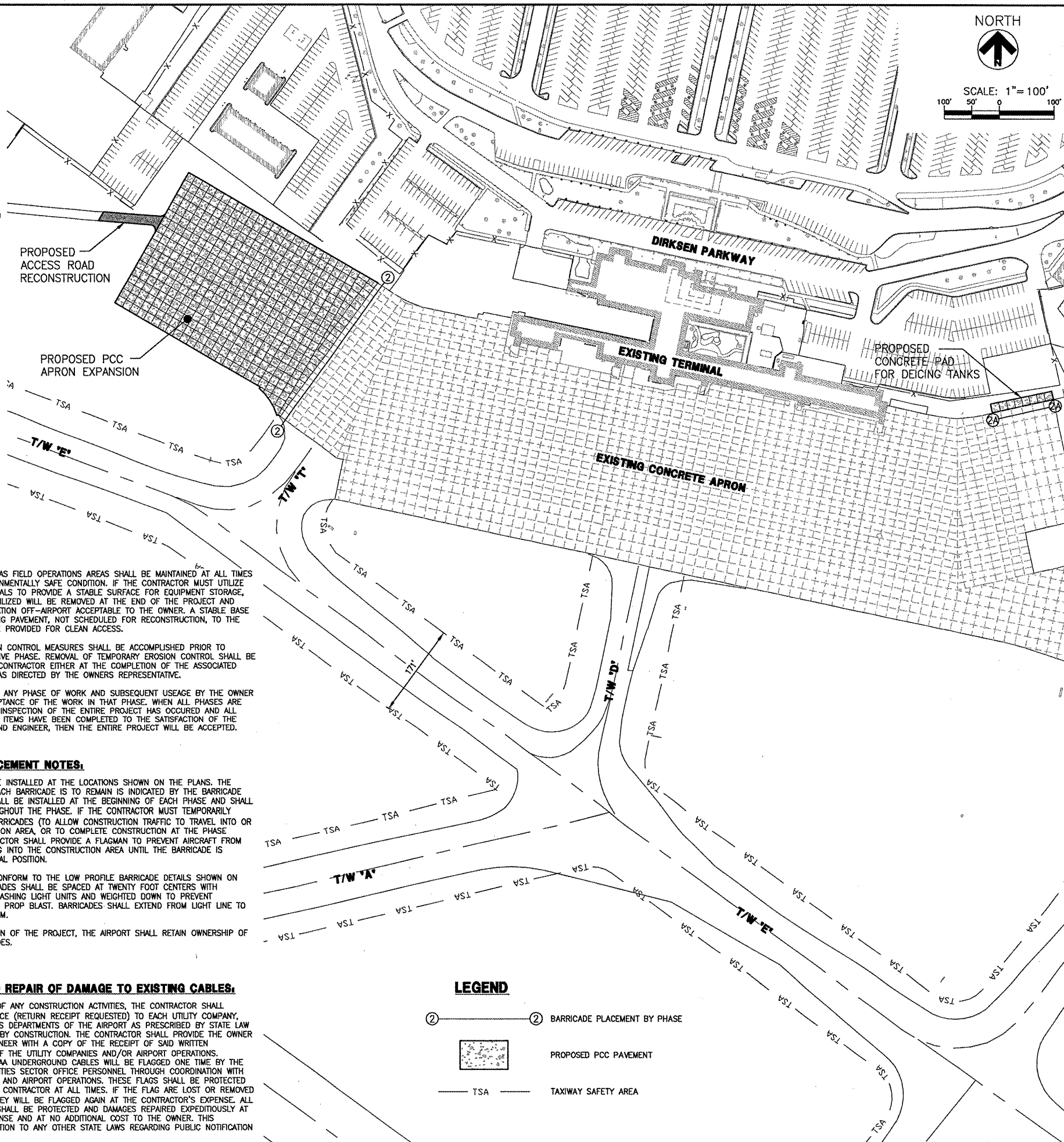
8. ANY AREAS UTILIZED AS FIELD OPERATIONS AREAS SHALL BE MAINTAINED AT ALL TIMES IN A CLEAN AND ENVIRONMENTALLY SAFE CONDITION. IF THE CONTRACTOR MUST UTILIZE AGGREGATE BASE MATERIALS TO PROVIDE A STABLE SURFACE FOR EQUIPMENT STORAGE, THEN ANY MATERIALS UTILIZED WILL BE REMOVED AT THE END OF THE PROJECT AND DISPOSED OF AT A LOCATION OFF-AIRPORT ACCEPTABLE TO THE OWNER. A STABLE BASE EXTENDING FROM EXISTING PAVEMENT, NOT SCHEDULED FOR RECONSTRUCTION, TO THE FIELD OFFICES SHALL BE PROVIDED FOR CLEAN ACCESS.
9. APPROPRIATE EROSION CONTROL MEASURES SHALL BE ACCOMPLISHED PRIOR TO BEGINNING THE RESPECTIVE PHASE. REMOVAL OF TEMPORARY EROSION CONTROL SHALL BE ACCOMPLISHED BY THE CONTRACTOR EITHER AT THE COMPLETION OF THE ASSOCIATED PHASE OR THEREAFTER AS DIRECTED BY THE OWNERS REPRESENTATIVE.
10. THE COMPLETION OF ANY PHASE OF WORK AND SUBSEQUENT USEAGE BY THE OWNER DOES NOT DEFINE ACCEPTANCE OF THE WORK IN THAT PHASE. WHEN ALL PHASES ARE COMPLETE AND A FINAL INSPECTION OF THE ENTIRE PROJECT HAS OCCURED AND ALL ASSOCIATED PUNCH LIST ITEMS HAVE BEEN COMPLETED TO THE SATISFACTION OF THE AIRPORT MANAGEMENT AND ENGINEER, THEN THE ENTIRE PROJECT WILL BE ACCEPTED.

**BARRICADE PLACEMENT NOTES:**

1. BARRICADES SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS. THE PHASE DURING WHICH EACH BARRICADE IS TO REMAIN IS INDICATED BY THE BARRICADE LABELS. BARRICADES SHALL BE INSTALLED AT THE BEGINNING OF EACH PHASE AND SHALL REMAIN IN PLACE THROUGHOUT THE PHASE. IF THE CONTRACTOR MUST TEMPORARILY REMOVE ANY OF THE BARRICADES (TO ALLOW CONSTRUCTION TRAFFIC TO TRAVEL INTO OR OUT OF THE CONSTRUCTION AREA, OR TO COMPLETE CONSTRUCTION AT THE PHASE BOUNDARY), THE CONTRACTOR SHALL PROVIDE A FLAGMAN TO PREVENT AIRCRAFT FROM INADVERTENTLY TRAVELING INTO THE CONSTRUCTION AREA UNTIL THE BARRICADE IS REPLACED TO ITS ORIGINAL POSITION.
2. BARRICADES SHALL CONFORM TO THE LOW PROFILE BARRICADE DETAILS SHOWN ON THE PLANS. THE BARRICADES SHALL BE SPACED AT TWENTY FOOT CENTERS WITH OMNIDIRECTIONAL RED FLASHING LIGHT UNITS AND WEIGHTED DOWN TO PREVENT MOVEMENT FROM JET OR PROP BLAST. BARRICADES SHALL EXTEND FROM LIGHT LINE TO LIGHT LINE, AS A MINIMUM.
3. UPON THE COMPLETION OF THE PROJECT, THE AIRPORT SHALL RETAIN OWNERSHIP OF 20 LOW-LEVEL BARRICADES.

**PROTECTION AND REPAIR OF DAMAGE TO EXISTING CABLES:**

1. PRIOR TO INITIATION OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE (RETURN RECEIPT REQUESTED) TO EACH UTILITY COMPANY, ALONG WITH THE VARIOUS DEPARTMENTS OF THE AIRPORT AS PRESCRIBED BY STATE LAW THAT MAY BE IMPACTED BY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE RESIDENT ENGINEER WITH A COPY OF THE RECEIPT OF SAID WRITTEN NOTIFICATION TO EACH OF THE UTILITY COMPANIES AND/OR AIRPORT OPERATIONS. LOCATION OF EXISTING FAA UNDERGROUND CABLES WILL BE FLAGGED ONE TIME BY THE LOCAL FAA AIRWAY FACILITIES SECTOR OFFICE PERSONNEL THROUGH COORDINATION WITH THE RESIDENT ENGINEER AND AIRPORT OPERATIONS. THESE FLAGS SHALL BE PROTECTED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES. IF THE FLAG ARE LOST OR REMOVED BY THE CONTRACTOR, THEY WILL BE FLAGGED AGAIN AT THE CONTRACTOR'S EXPENSE. ALL UNDERGROUND CABLES SHALL BE PROTECTED AND DAMAGES REPAIRED EXPEDITIOUSLY AT THE CONTRACTORS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER. THIS REQUIREMENT IS IN ADDITION TO ANY OTHER STATE LAWS REGARDING PUBLIC NOTIFICATION PRIOR TO EXCAVATION.



**PE087**

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STS AECOM

IL PROJECT: PIA-3812  
AIP PROJECT: 3-17-0080-46

**REVISIONS**

NO.	DESCRIPTION	DATE

DATE ISSUED: 06/27/08  
REVIEWED BY: PCB  
DRAWN BY: MJL  
DESIGNED BY: NDO

AEP PROJECT NUMBER  
**213-6945-000**  
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SHEET TITLE  
**PHASING PLAN  
AND NOTES**

SHEET NUMBER  
**5 OF 43**

**ISSUED FOR  
BID DOCUMENTS**